

SITE STATISTICS

OWNER/DEVELOPER:
HARRIS & DOUGLAS PROPERTIES, LLC
C/O DOUG GODSEY
2354 CHARLES CITY ROAD
HENRICO, VA 23231
PH: 804-222-9278
EMAIL: DGODSEY@GODSEYANDSON.COM

ENGINEER:
THE BAY COMPANIES, INC.
C/O DAN CASKIE, P.E.
8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
PH: 804-569-7060
EMAIL: dan.caskie@thebaycompanies.com

EXISTING ZONING:
MX

PROPOSED ZONING:
RS AND AR-6

SITE AREA:
TOTAL GROSS AREA WITHIN RS ZONING = 45.5+ ACRES
TOTAL AREA WITHIN RPA = 20.3+ ACRES (1/2 = 10.2 ACRES)
TOTAL AREA WITHIN STEEP SLOPES = 0.0 ACRES
PROPOSED LOTS = 49 UNITS
AREA IN LOTS = 13.22 ACRES
AREA IN R/W = 3.62 ACRES
DENSITY (49/35.3+) = 1.4 UN/AC
STREET FRONTAGE = 3,902 LF

OPEN SPACE NET AREA = 25.2+ ACRES
OPEN SPACE REQUIRED = (25.2+15%) = 3.78 ACRES
TOTAL OPEN SPACE PROVIDED = 8.4+ ACRES
AREA NOT ACCESSIBLE TO COMMUNITY = 3.1+ ACRES
QUALIFIED OPEN SPACE PROVIDED = (8.4-3.1) = 5.3+ ACRES

TOTAL GROSS AREA WITHIN AR-6 ZONING = 7.9+ ACRES
AREA WITHIN OPEN SPACE = 7.9+ ACRES

ADDRESS:
0 MOUNT HERMON ROAD
ASHLAND, VA 23005

GPINs:
7789-59-1517, 7789-69-3553, 7789-69-9500

SOURCE OF WATER:
COUNTY SYSTEM (PUBLIC)
350 GAL/DAY PER UNIT

METHOD OF SEWAGE DISPOSAL:
COUNTY SYSTEM (PUBLIC)
350 GAL/DAY PER UNIT

TRAFFIC ZONE:
1726

ROADS:
PUBLIC AND PRIVATE

NOTE:
PART OF THIS SITE LIES WITHIN A RMA. THIS SITE DOES CONTAIN RPA.

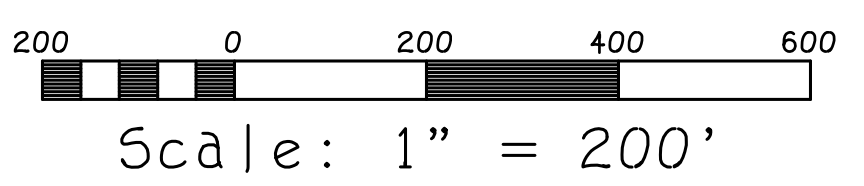
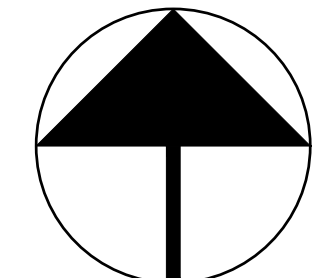
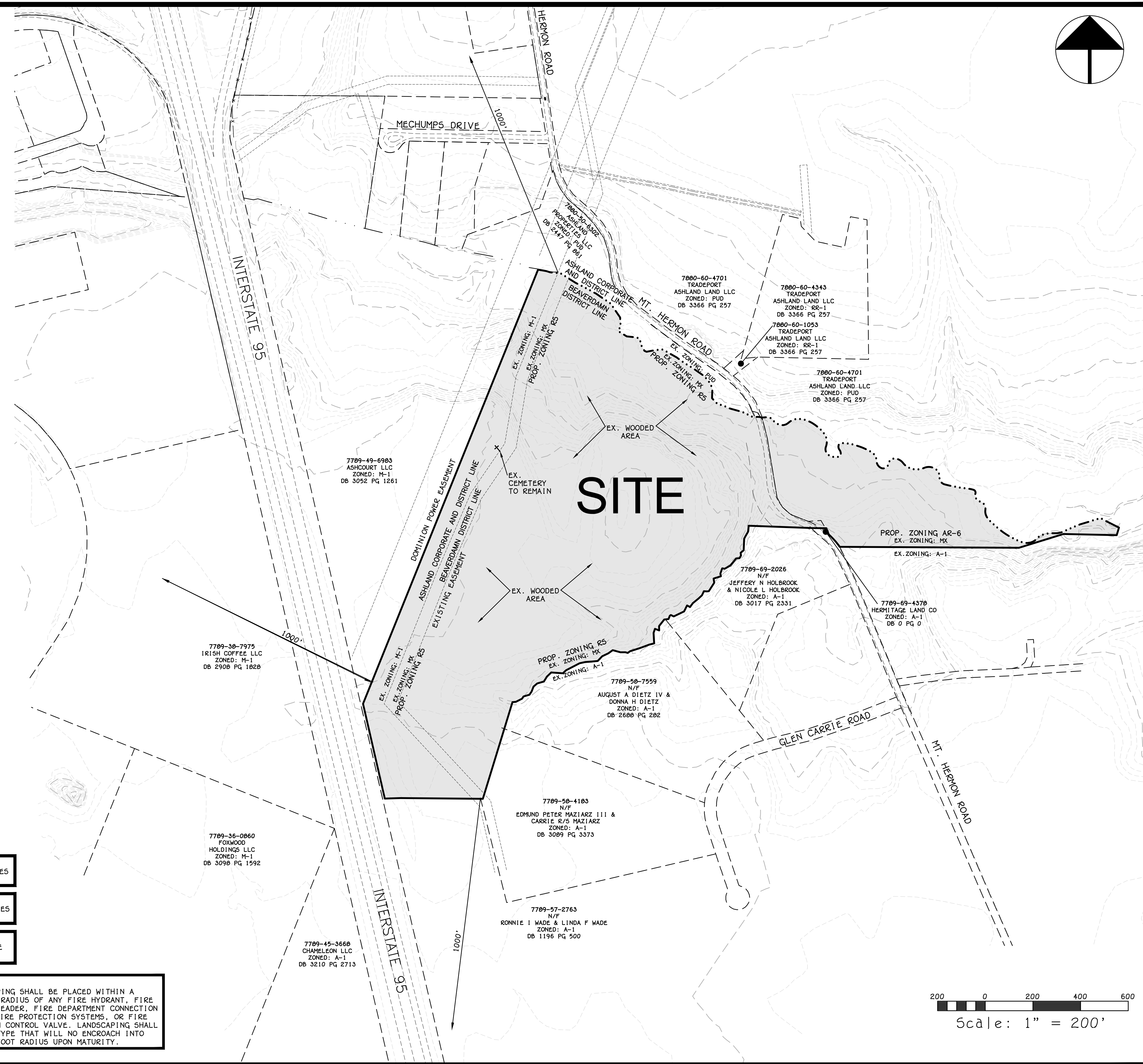
NOTE:
NO HISTORICAL RESOURCES EXIST ON SITE.

NOTE:
PROPOSED UTILITY LINES TO BE UNDERGROUND.

NOTE:
NO KNOWN AQUIFER RECHARGE AREAS EXIST ON SITE.

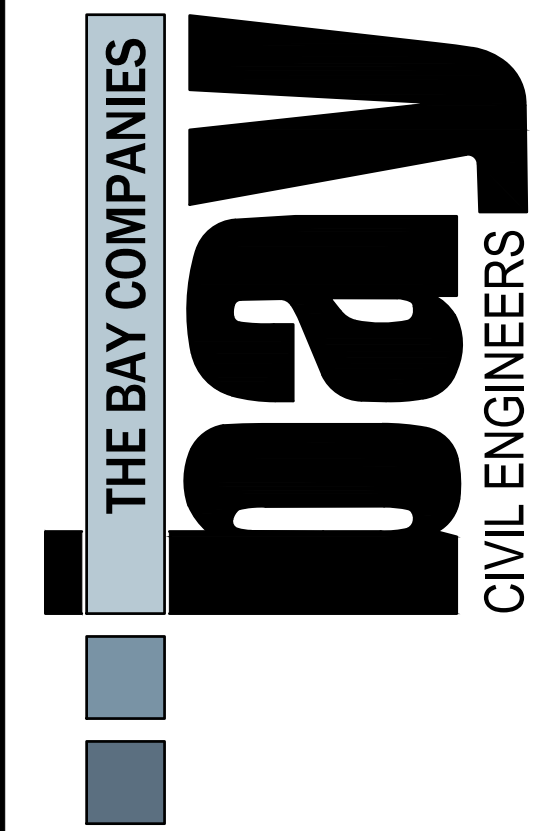
NOTE:
THE DEVELOPMENT AND USE OF THE PROPERTY WHICH IS THE SUBJECT OF THIS SUBDIVISION APPROVAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES.

NOTE:
NO LANDSCAPING SHALL BE PLACED WITHIN A THREE FOOT RADIUS OF ANY FIRE HYDRANT, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTION (FDC) FOR FIRE PROTECTION SYSTEMS, OR FIRE SUPPRESSION CONTROL VALVE. LANDSCAPING SHALL BE OF THE TYPE THAT WILL NO ENCROACH INTO THE THREE FOOT RADIUS UPON MATURITY.



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FILED: 21049_area map
DATE: February 7, 2022
REVISED: December 19, 2022
REVISED: June 12, 2023
REVISED: March 22, 2024
REVISED: June 18, 2024



8500 BELL CREEK ROAD
MECHANICSVILLE, VA 23116
(804) 569-7060
FAX: (804) 569-7061

PROJECT:

Iron Horse
Detached Single Family Residential
Zoning Concept

Beaverdam District
Hanover County, Virginia

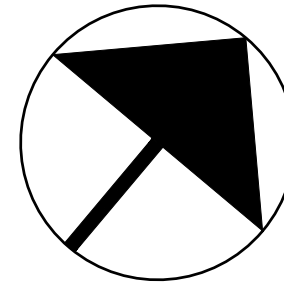
SHEET:

Area Map

SHEET NO:

C1

JOB NO. 21049



POCKET PARK NOTE:
POCKET PARKS TO INCLUDE AMENITIES.
POSSIBLE AMENITIES ARE PAVILION,
BENCHES, GRILLS, PICNIC TABLES, CORN
HOLE, ECT.

7709-49-6903
ASHCOURT LLC
ZONED: M-1
DB 3052 PG 1261

EX 50' NATURAL
GAS EASEMENT
D.B. 961 PG. 127

DOMINION POWER EASEMENT

EXISTING EASEMENT

7000-60-4701
TRADEPORT ASHLAND LAND LLC
ZONED: PUD
DB 3366 PG 257

7000-60-4343
TRADEPORT
ASHLAND LAND LLC
ZONED: RR-1
DB 3366 PG 263

7000-60-1053
TRADEPORT
ASHLAND LAND LLC
ZONED: RR-1
DB 3366 PG 263

7000-60-4701
TRADEPORT
ASHLAND LAND LLC
ZONED: PUD
DB 3366 PG 257

7709-69-4370
HERMITAGE LAND
CO ZONED: A-1
DB 0 PG 0

7709-69-2026
JEFFERY N HOLBROOK & NICOLE L HOLBROOK
ZONED: A-1
DB 3017 PG 2301

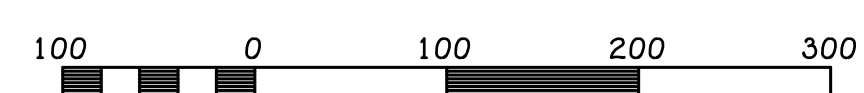
7709-50-7559
AUGUST A DIETZ IV & DONNA H DIETZ
ZONED: A-1
DB 2080 PG 202

7709-50-4103
EDMUND PETER MAZIAK 1111 & CARRIE
R/S MAZIAK
ZONED: A-1
DB 3009 PG 3373

7709-57-2763
N/F
RONNIE I WADE & LINDA F WADE
ZONED: A-1
DB 1196 PG 500

PEDESTRIAN TRAIL NOTE:
PEDESTRIAN TRAIL WITHIN 50' LANDSCAPE
BUFFER TO BE INSTALLED ALONG A PATH TO
MINIMIZE THE DISTURBANCE OF EXISTING
TREES.

50' LANDSCAPE BUFFER NOTE:
50' LANDSCAPE BUFFER ALONG MOUNT HERMON ROAD TO BE LEFT IN NATURAL
STATE EXCLUDING WHERE ROAD AND INFRASTRUCTURE CONSTRUCTION IS
REQUIRED. DISTURBANCES WITHIN THE BUFFER SHALL BE GENERALLY
PERPENDICULAR WITHIN THE BUFFER. UTILITIES CANNOT TRAVERSE ACROSS
THE LENGTH OF IT. WHERE DISTURBANCE OCCURS, BUFFER TO BE REPLANTED
WITH A VEGETATIVE SCREEN PER SECTION 26-263 OF THE HANOVER ZONING
ORDINANCE. WHERE EXISTING VEGETATION DOES NOT MEET THE STANDARDS OF
SECTION 26-263 IF THE HANOVER ZONING ORDINANCE SUPPLEMENTAL
PLANTINGS TO BE ADDED.



Scale: 1" = 100'

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21049_zoning_concept_plans
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(804) 569-7080
FAX: (804) 569-7061

PROJECT:

Iron Horse
Detached Single Family
Residential
Zoning Concept

Beaverdam District
Hanover County, Virginia

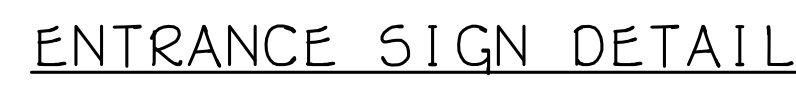
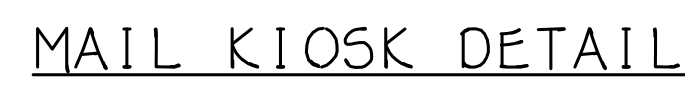
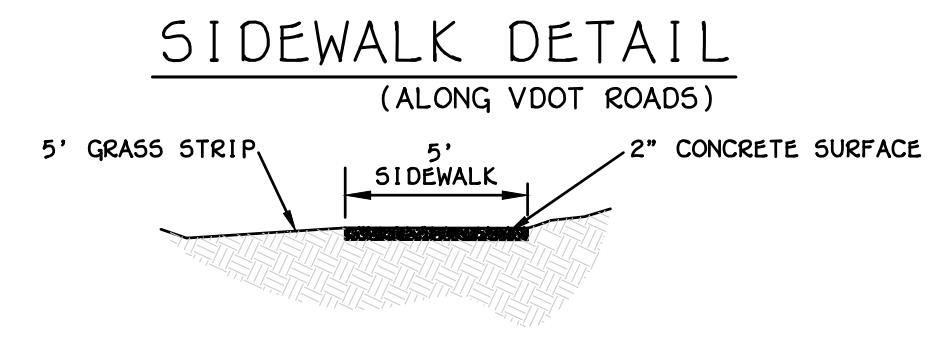
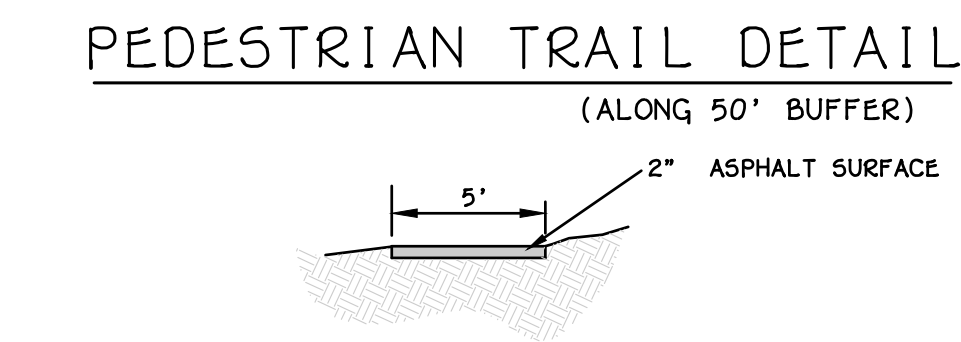
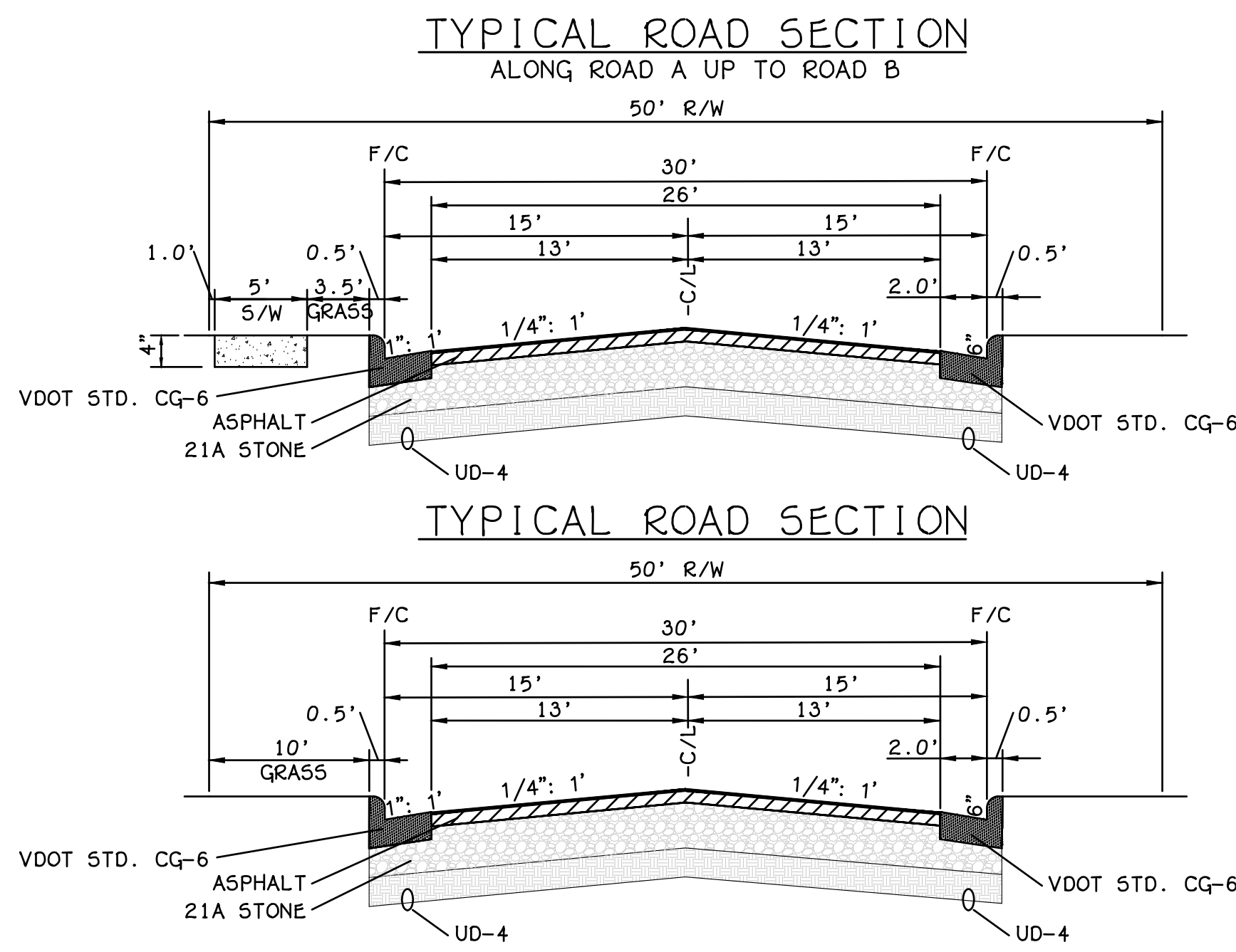
SHEET:

Concept
Plan

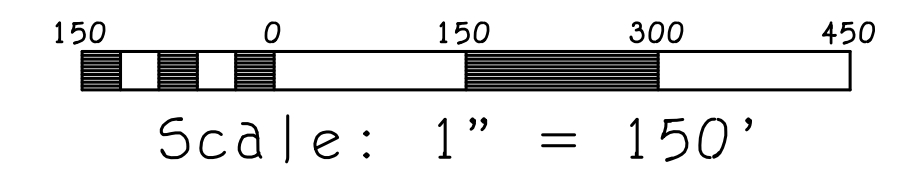
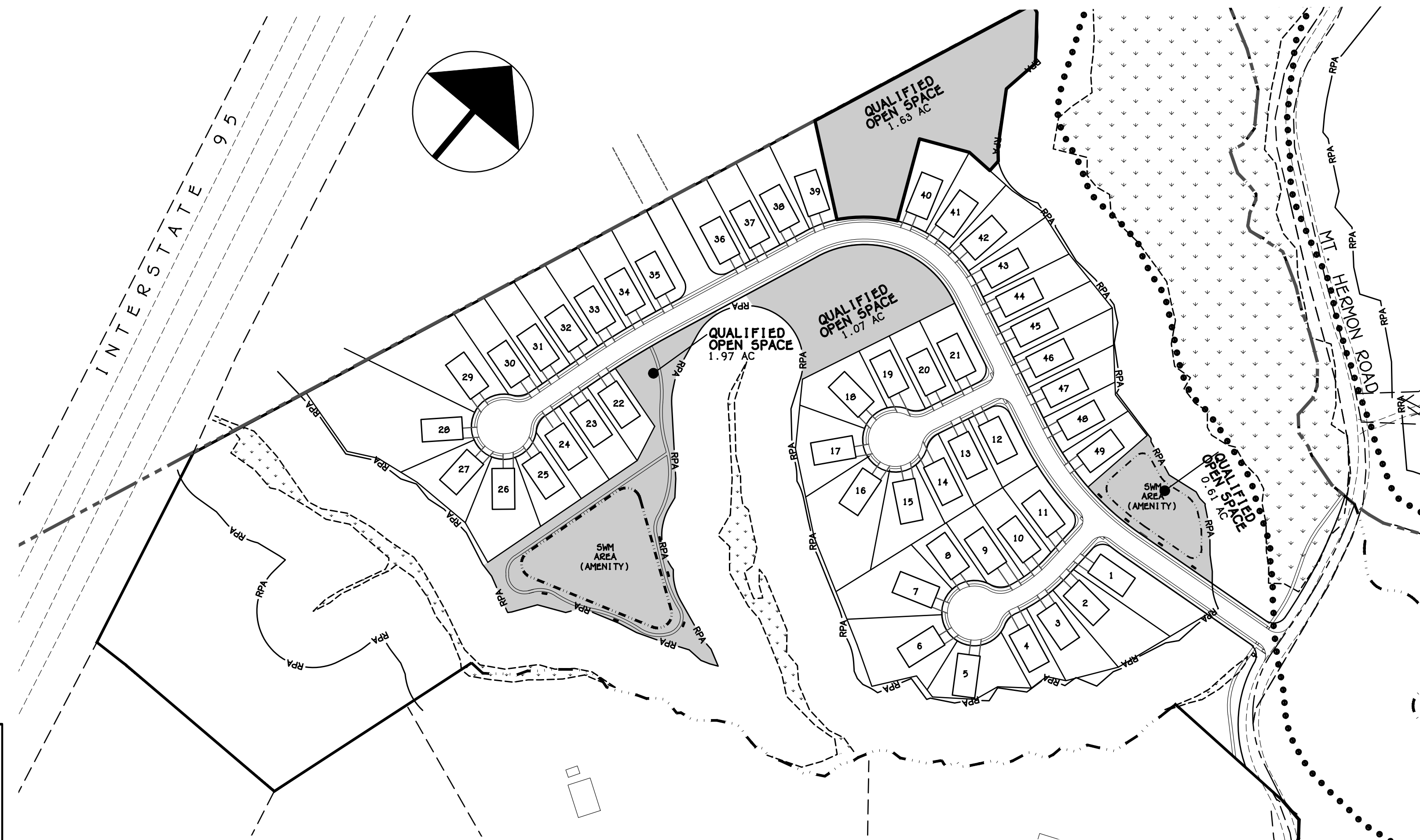
SHEET NO:

C2

JOB NO. 21049

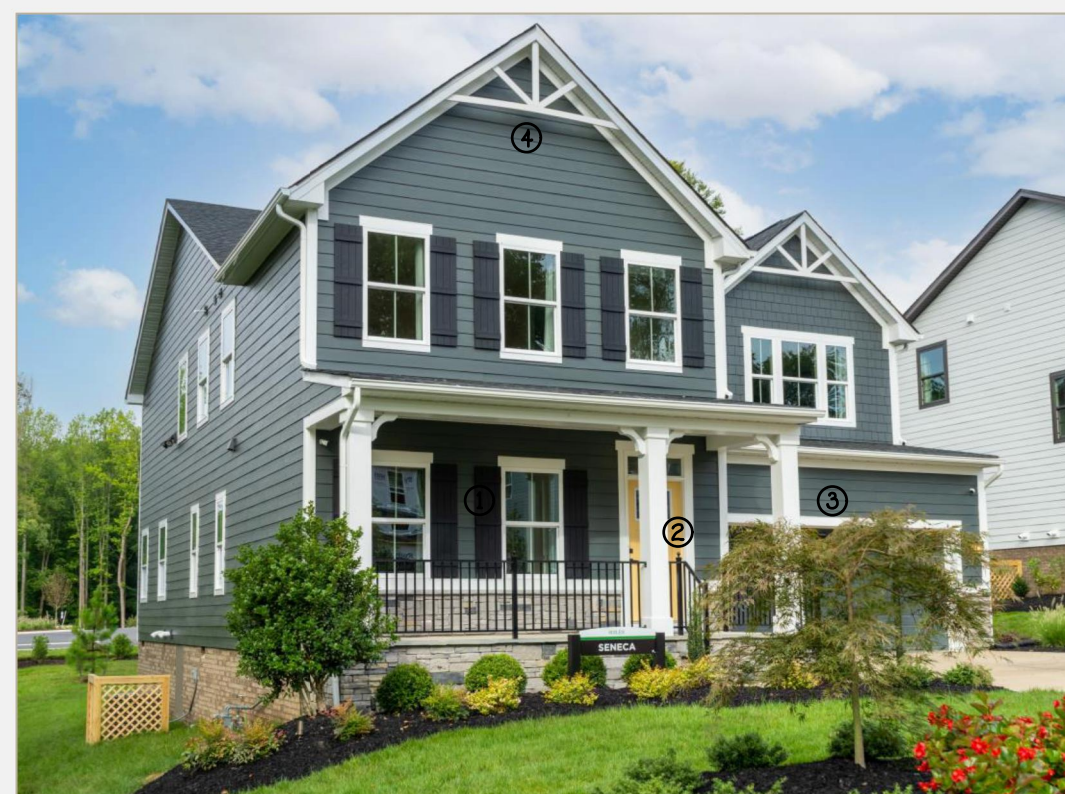


QUALIFIED OPEN SPACE



- BUILDING MATERIALS NOTES:**
- SIDING MATERIALS:** BRICK, HARDI-PLANK, VINYL SIDING, STONE, PRE-CAST CONCRETE
 - ROOF MATERIALS:** STANDARD ASPHALT SHINGLES, DIMENSIONAL ASPHALT SHINGLES, CEDAR SHAKE SHINGLE, STANDING SEAM METAL
 - TRIM:** WOOD (PAINTED), VINYL, ALUMINUM, COMPOSITE, PRE-CAST CONCRETE
 - WINDOWS:** GLASS (CLEARVIEW), GLASS (SPECIALTY), GLASS (BLOCK), ALUMINUM OR VINYL FRAMES AND TRIM
 - DOORS:** METAL (PAINTED), WOOD (STAINED OR PAINTED), COMPOSITE
 - NOTE:** COLORS OF MATERIALS TO BE HARMONIOUS WITHIN THE COMMUNITY

DISTINCT HOMES IN ASHLAND, VA



- COVERED PORCH WITH COLUMN AND RAILING
- STAINED WOOD DOOR
- SET BACK GARAGE
- FORWARD FACE ROOF



- DOMER
- GABLE ROOF
- STONE FACADE
- HORIZONTAL SIDING

DISTINCT HOMES IN ASHLAND, VA

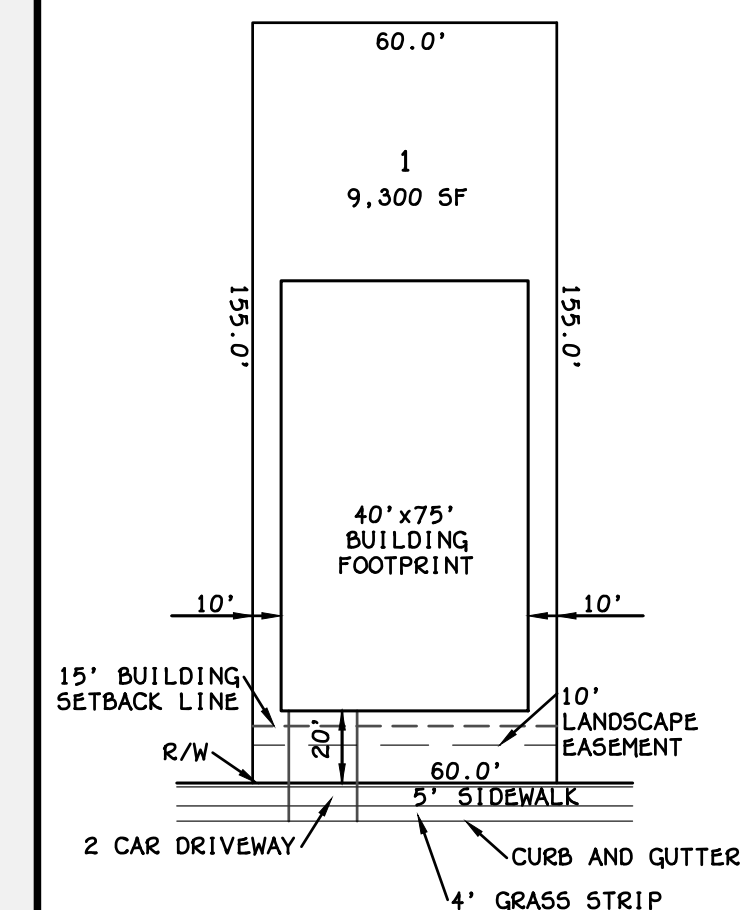


- METAL DOOR WITH WINDOW
- LIGHTED GARAGE DOOR
- COLUMN WITHOUT RAILING
- BRICK FACADE
- VERTICAL SIDING



- SQUARE SIDING
- GABLE ROOF ROOF FACING

TYPICAL LOT LAYOUT



PROJECT:

Iron Horse
Detached Single Family Residential
Zoning Concept

Beaverdam District
Hanover County, Virginia

SHEET:

Site
Detail and
Elevations

SHEET NO:

C3

JOB NO.

21049

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FILED:

21049_zoning_concept_plans

DATE:

February 7, 2022

REVISED:

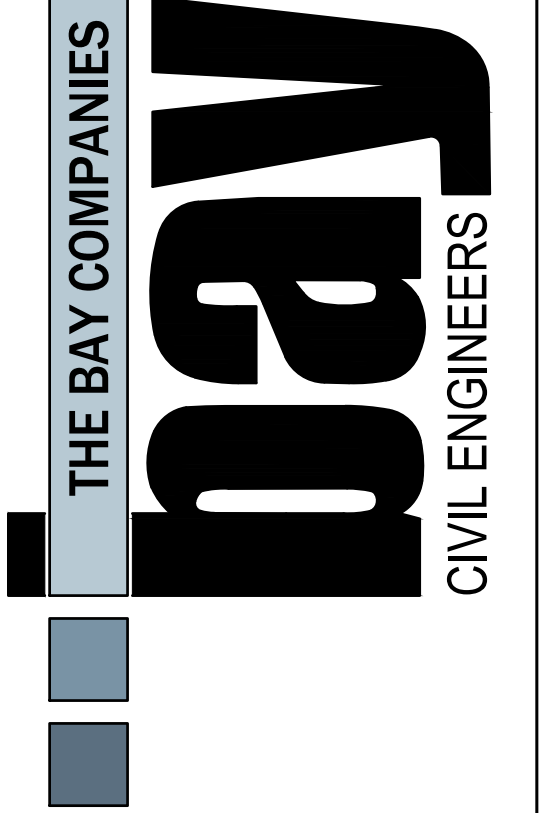
December 19, 2022

REVISED:

June 12, 2023

REVISED:

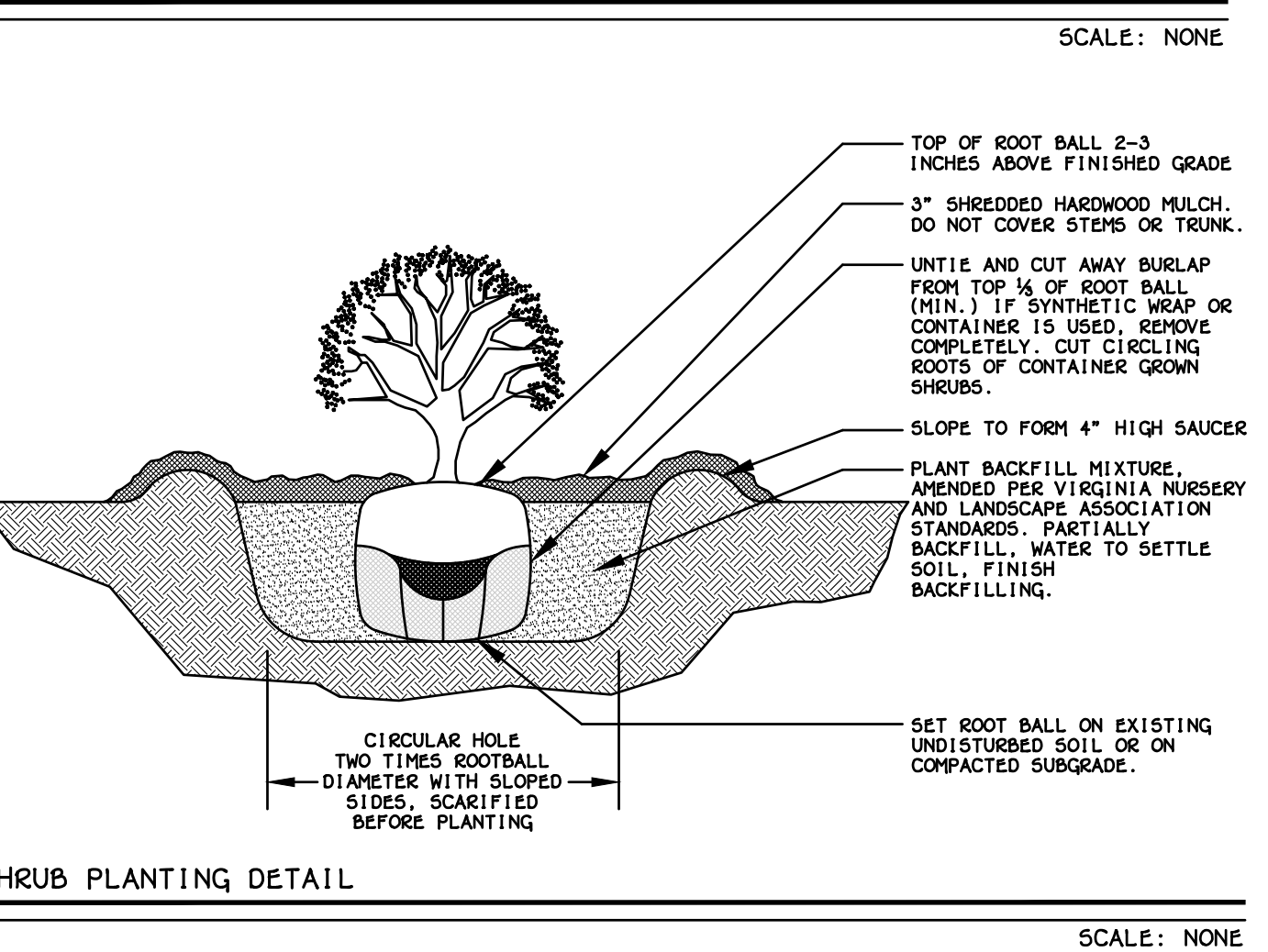
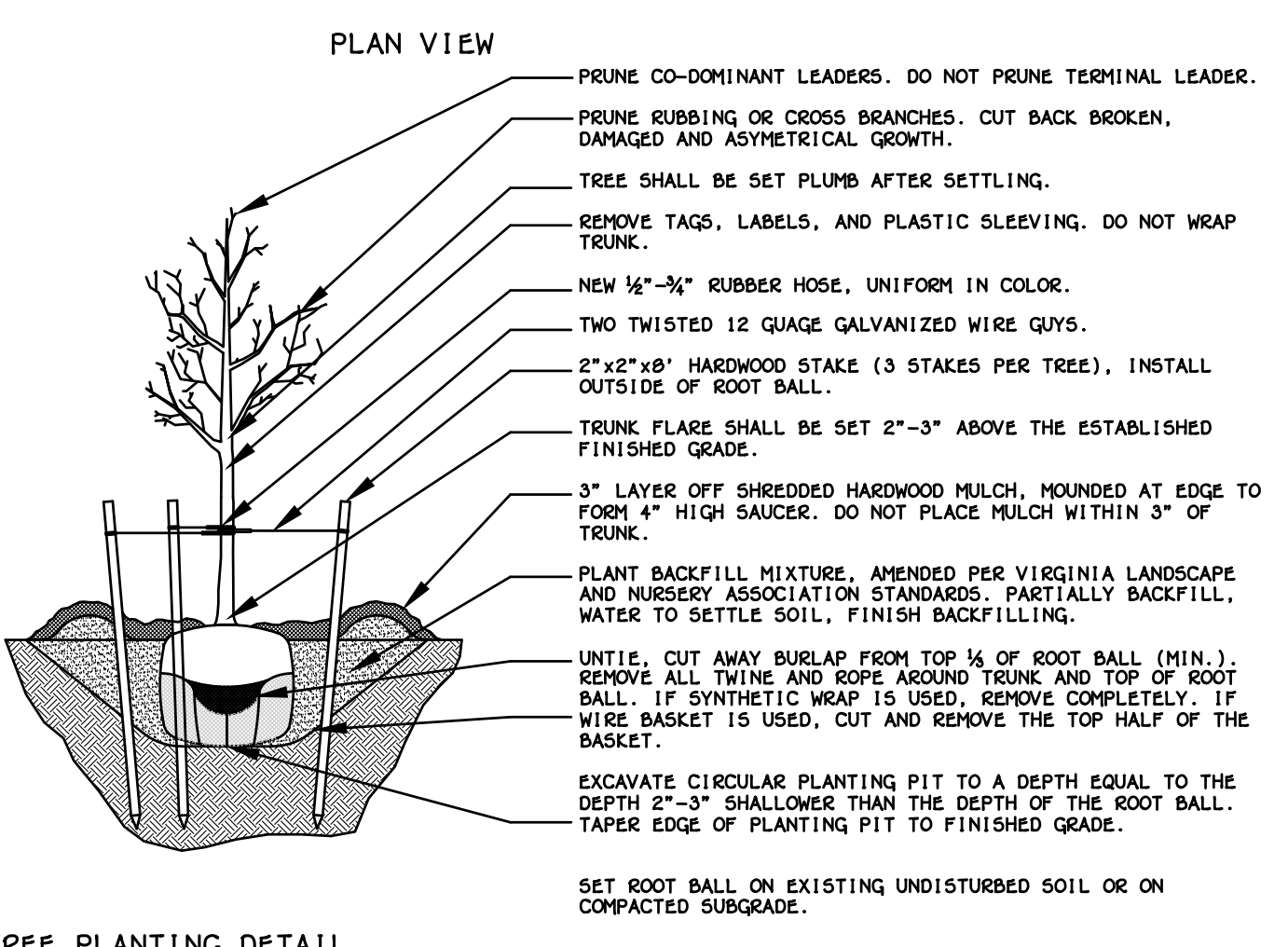
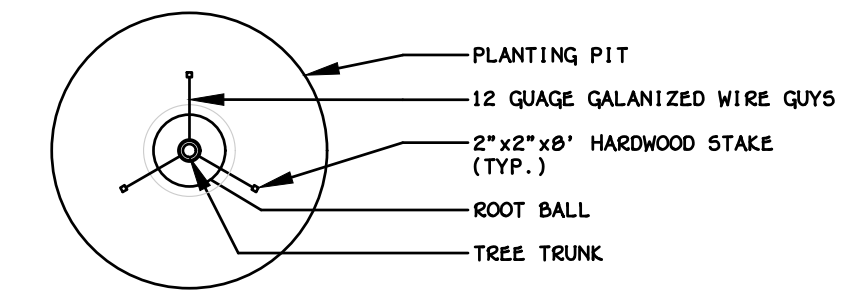
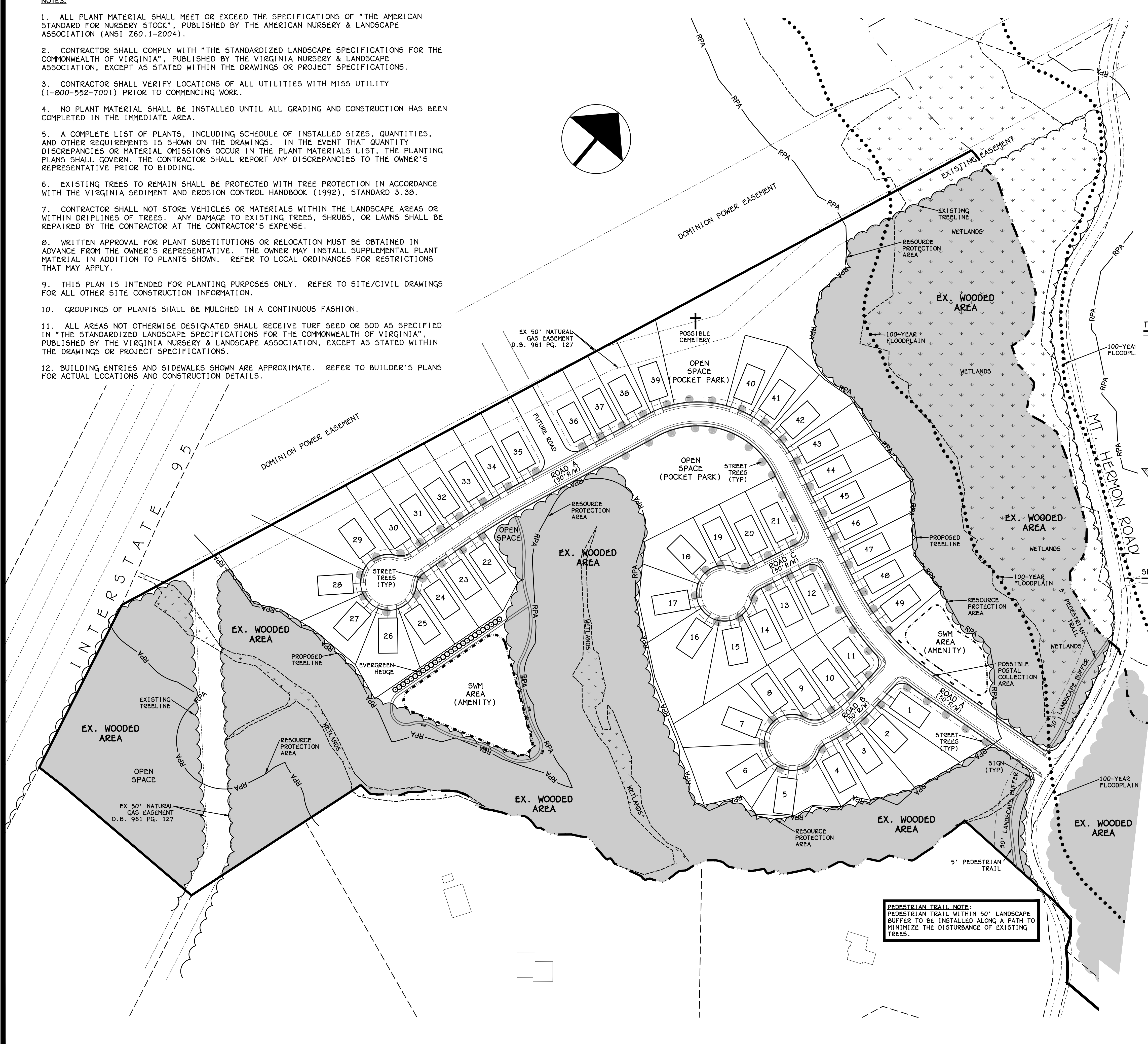
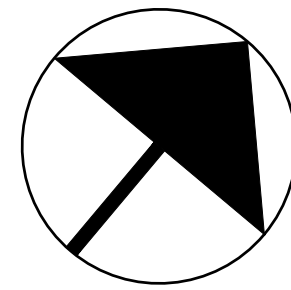
March 22, 2024



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NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANSI Z60.1-2004).
2. CONTRACTOR SHALL COMPLY WITH "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
3. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES WITH MISS UTILITY (1-800-552-7001) PRIOR TO COMMENCING WORK.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
5. A COMPLETE LIST OF PLANTS, INCLUDING SCHEDULE OF INSTALLED SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
6. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TREE PROTECTION IN ACCORDANCE WITH THE VIRGINIA SEDIMENT AND EROSION CONTROL HANDBOOK (1992), STANDARD 3.30.
7. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPE AREAS OR WITHIN DRILINES OF TREES. ANY DAMAGE TO EXISTING TREES, SHRUBS, OR LAWNS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
8. WRITTEN APPROVAL FOR PLANT SUBSTITUTIONS OR RELOCATION MUST BE OBTAINED IN ADVANCE FROM THE OWNER'S REPRESENTATIVE. THE OWNER MAY INSTALL SUPPLEMENTAL PLANT MATERIAL IN ADDITION TO PLANTS SHOWN. REFER TO LOCAL ORDINANCES FOR RESTRICTIONS THAT MAY APPLY.
9. THIS PLAN IS INTENDED FOR PLANTING PURPOSES ONLY. REFER TO SITE/CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
10. GROUPINGS OF PLANTS SHALL BE MULCHED IN A CONTINUOUS FASHION.
11. ALL AREAS NOT OTHERWISE DESIGNATED SHALL RECEIVE TURF SEED OR SOD AS SPECIFIED IN "THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA", PUBLISHED BY THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, EXCEPT AS STATED WITHIN THE DRAWINGS OR PROJECT SPECIFICATIONS.
12. BUILDING ENTRIES AND SIDEWALKS SHOWN ARE APPROXIMATE. REFER TO BUILDER'S PLANS FOR ACTUAL LOCATIONS AND CONSTRUCTION DETAILS.

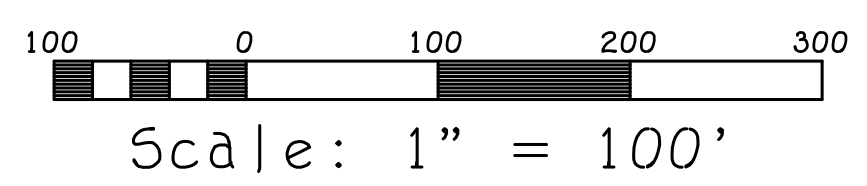


50' LANDSCAPE BUFFER NOTE:
 50' LANDSCAPE BUFFER ALONG MOUNT HERMON ROAD TO BE LEFT IN NATURAL STATE EXCLUDING WHERE ROAD A AND INFRASTRUCTURE CONSTRUCTION IS REQUIRED. DISTURBANCES WITHIN THE BUFFER SHALL BE GENERALLY PERPENDICULAR WITHIN THE BUFFER; UTILITIES CANNOT TRAVERSE ACROSS THE LENGTH OF IT. WHERE DISTURBANCE OCCURS, BUFFER TO BE REPLANTED WITH A VEGETATIVE SCREEN PER SECTION 26-263 OF THE HANOVER ZONING ORDINANCE. WHERE EXISTING VEGETATION DOES NOT MEET THE STANDARDS OF SECTION 26-263 IF THE HANOVER ZONING ORDINANCE SUPPLEMENTAL PLANTINGS TO BE ADDED.

STREET TREES:
 STREET TREES REQUIRED:
 RS ZONING = 1 TREE PER 50 LF
 3902 LF / 50 = 78 STREET TREES
 STREET TREES PROVIDED :
 78 TREES

THOROUGHFARE BUFFERS:
 REQUIRED BUFFER PLANTINGS : *
 TOTAL LENGTH ALONG MT HERMON ROAD: 583 LF
 - 1 LARGE DECIDUOUS OR EVERGREEN TREE PER 50 LF = (12) TREES
 - 1 SHRUB PER 30 LF = (20) SHRUBS
 *REQUIREMENTS MAY BE MET BY EXISTING VEGETATION

PEDESTRIAN TRAIL NOTE:
 PEDESTRIAN TRAIL WITHIN 50' LANDSCAPE BUFFER TO BE INSTALLED ALONG A PATH TO MINIMIZE THE DISTURBANCE OF EXISTING TREES.



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FILED:
 21049_zoning_landscape
 DATE: February 7, 2022
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PROJECT:
Iron Horse
 Detached Single Family Residential
Zoning Concept

Beaverdam District
 Hanover County, Virginia

SHEET:
 Conceptual Landscape Plan

SHEET NO:
 L1
 JOB NO. 21049

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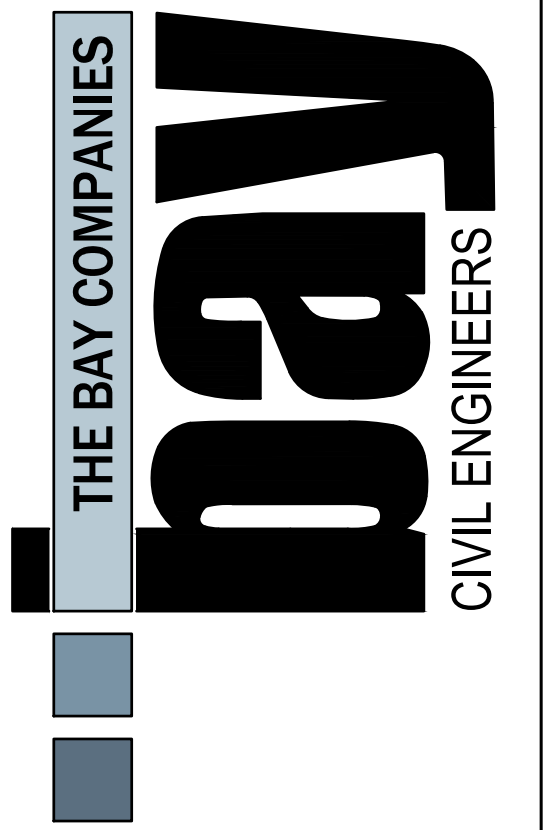
FILED: 21049_zoning_landscape_color

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Detached Single Family Residential
Zoning Concept

Beaverdam District
Hanover County, Virginia

SHEET:
Color Conceptual Landscape Plan

SHEET NO:
L2

JOB NO. 21049



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