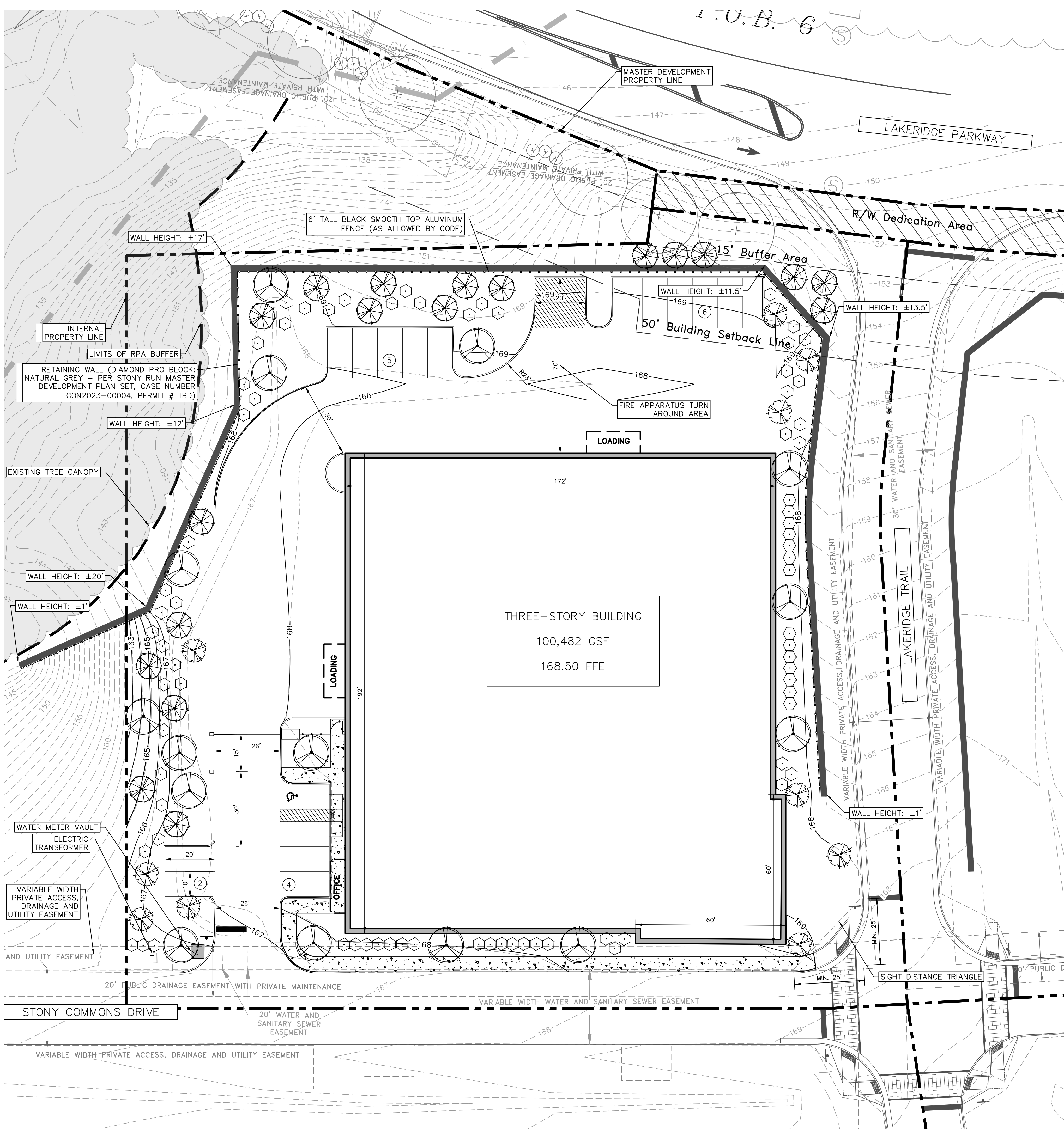


REF: 11/17/2024 - XREF: STORM-117107000 - XREF: AUT-117107000 - XREF: V-E-WEL-117107000 - XREF: V-F-WF-117107000 - XREF: V-F-OUTFALL-117107000 - XREF: V-F-LAKERIDGE-117107000  
 DRAWN BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 06/21/2024  
 LAST SAVED: 6/21/2024 12:00 PM  
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**LEGEND**

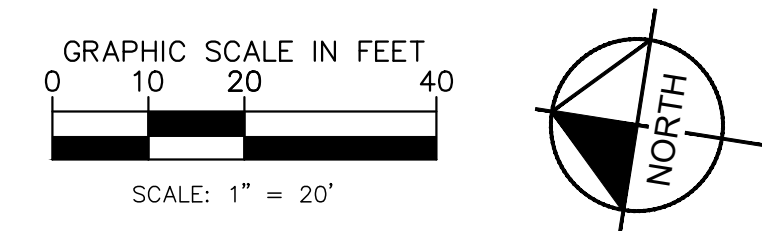
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- LANDSCAPING SETBACK
- SITE FENCING (SEE PLAN CALLOUT)
- PARKING COUNT
- SHRUBS
- ORNAMENTAL TREES
- EVERGREEN TREES
- SHADE TREES
- PROPOSED SIDEWALK
- THOROUGHFARE BUFFER - LARGE DECIDUOUS TREE
- THOROUGHFARE BUFFER - MEDIUM SHRUB

**NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
- STORMWATER MANAGEMENT IS HANDLED THROUGH THE STONY RUN MASTER DEVELOPMENT PLAN SET, CASE NUMBER CON2023-00004.
- A FIRE CODE MODIFICATION ALLOWING THE DISTANCE BETWEEN THE FIRE APPARATUS ROAD AND BUILDING TO BE INCREASED FROM 150' TO 210' WAS APPROVED BY THE FIRE MARSHAL'S OFFICE ON 02/09/2024.
- VDOT REQUIREMENTS ARE FULFILLED THROUGH THE STONY RUN MASTER DEVELOPMENT PLAN SET, CASE NUMBER CON2023-00004.
- THOROUGHFARE BUFFER LANDSCAPING REQUIREMENTS ARE HANDLED THROUGH THE STONY RUN MASTER DEVELOPMENT PLAN SET, CASE NUMBER CON2023-00004.

**SITE PLAN SUMMARY**

ZONING	B-3 COMMERCIAL
FRONT SETBACK	50 FT
REAR SETBACK	0 FT
SIDE SETBACK MAJOR	0 FT
BUILDING HEIGHT	45'
MAX IMPERVIOUS SURFACE (EXCLUDING COMMON ROAD AND RPA BUFFER PER MASTER PLAN DEVELOPMENT)	70% (57,090 SF)
LOT SIZE	2.155 AC OR 93,886 SF
COMMON ROAD PVMNT AREA	9,518 SF
BLDG AREA	100,482 GSF
BLDG FOOTPRINT	33,494 SF
PAVING	23,247 SF
VEGETATED AREA	27,627 SF
IMPERVIOUS SURFACE (EXCLUDING COMMON ROAD PAVEMENT AREA PER MASTER PLAN DEVELOPMENT)	56,741 SF
PARKING REQUIREMENTS	OFFICE: 1 SPACE PER 400 SF 800 SF* 1 SPACE/400 SF (2) SPACES REQUIRED
PARKING STALLS REQUIRED	STORAGE: 1 SPACES PER 50 UNITS 750 UNITS*1 SPACE / 50 UNITS (15) SPACES REQUIRED
PARKING STALLS PROVIDED	(17) SPACES INCL. (1) ADA
LANDSCAPE INFORMATION (PER CODE SECTION 26-297)	750' BLDG PERIMETER (1) TREE & (2) SHRUBS PER 20' = (38) TREES & (76) SHRUBS 25% OR (10) ORNAMENTAL TREES 35% OR (13) EVERGREEN TREES 40% OR (15) SHADE TREES
THOROUGHFARE BUFFER CALCULATIONS	REQUIRED IN BUFFER A 1 LARGE DECIDUOUS TREE PER 50 LF / 1 MEDIUM SHRUB PER 30 LF 311 LF = (7) TREES & (11) SHRUBS



**Kimley»Horn**  
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**SELF STORAGE @ STONY RUN COMMONS**  
 PREPARED FOR:  
**STEIN INVESTMENT COMPANY, LLC**

**CONDITIONAL USE PERMIT EXHIBIT**

SHEET NUMBER  
**CUP**

PROJECT No. 11638202	DATE: 06/21/2024	SCALE: AS SHOWN	DESIGNED BY: AMB	DRAWN BY: AMB	CHECKED BY: LNB
No.	REVISIONS	DATE	BY		